

Guestwick Design Guide

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Quality information

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Hindolveston

Nethergate

Thurning

Wood Norton

Guestwick

Wood Dalling

Guestwick Green

Bates Moor

Foulsham

Themelthorpe

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 Guestwick Neighbourhood Area

 0 0.75 1.5 3 Kilometers

1. Introduction

AECOM has been commissioned to provide design support to the Guestwick Neighbourhood Forum through the Ministry of Housing, Communities and Local Government (MHCLG) funded Neighbourhood Planning Programme, led by Locality.

This Design Guide has been produced to inform new development proposed in the area. It presents a summary of the key characteristics of the Guestwick Neighbourhood Area. This information is then used to inform specific design guidelines to promote sustainable development.

The approach set out here is supported by the National Planning Policy Framework (NPPF), which encourages local authorities to consider using design codes, or in this case guidelines, to help deliver high quality outcomes for new development. It is important however, that guidance finds the balance between promoting and reinforcing local distinctiveness and allowing for innovation and originality. The NPPF suggests that *'design policies should be developed with local communities, so they reflect local aspirations and are grounded in an understanding and evaluation of each area's defining characteristics'* (NPPF, 2019).

The NPPF also emphasises that *'the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities'* (NPPF, 2019). It is therefore important that planning policies and decisions should address the connection between people and places and how any new development will respond to and integrate successfully into the natural, built and historic environment.

The NPPF is supported by a suite of planning practice guidance that is relevant to both design quality and quality in delivery. The National Design Guide forms part of the Government's collection of planning practice guidance and illustrates how well-designed places can be achieved in practice.

1.1 Objectives

The main objective of this document is to establish principles so that new development is designed and planned regarding the existing character and context

of the Guestwick Neighbourhood Area within the Neighbourhood Plan. It sets out a series of design guidelines mostly related to the residential development.

The document initially provides context to the design guidelines including strategic issues identified during the consultation carried out by the Guestwick Neighbourhood Forum. The aspirations of the communities involved, although not strictly design issues, need to be considered in the context of any design proposal.

1.2 Process

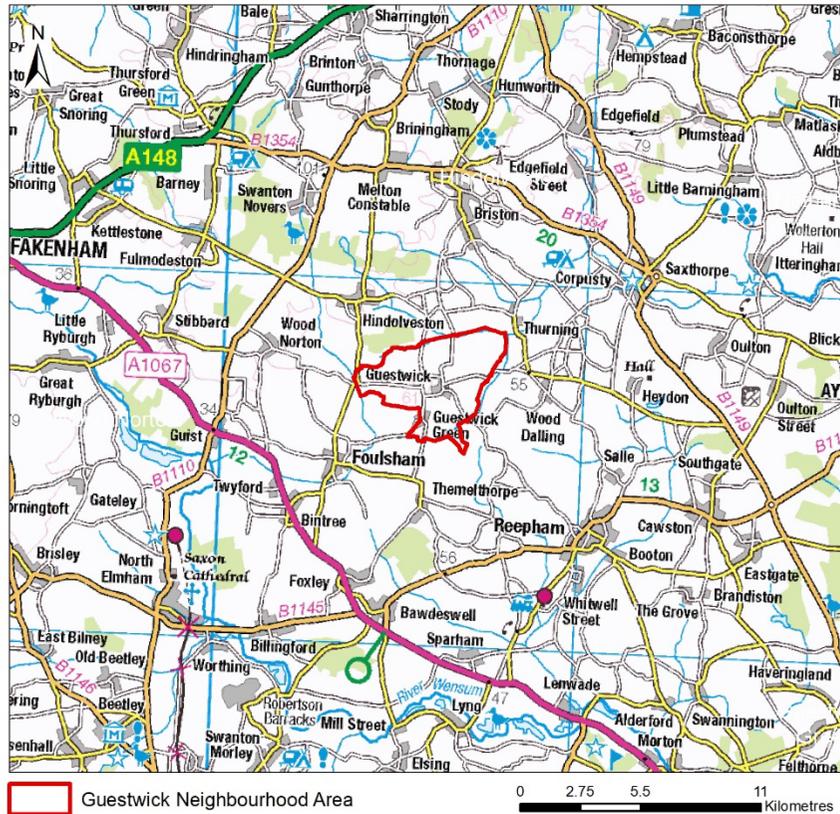
The following steps were undertaken to produce this document:

- Initial online meeting with the lead of the Guestwick Neighbourhood Forum;
- Site visits, character assessment and urban design analysis;
- Preparation of design principles and codes to be used to assess future development;
- Draft report with design guidelines; and
- Final report.



2. Context

2.1 Location and area of study



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Figure 1 Guestwick Neighbourhood Area

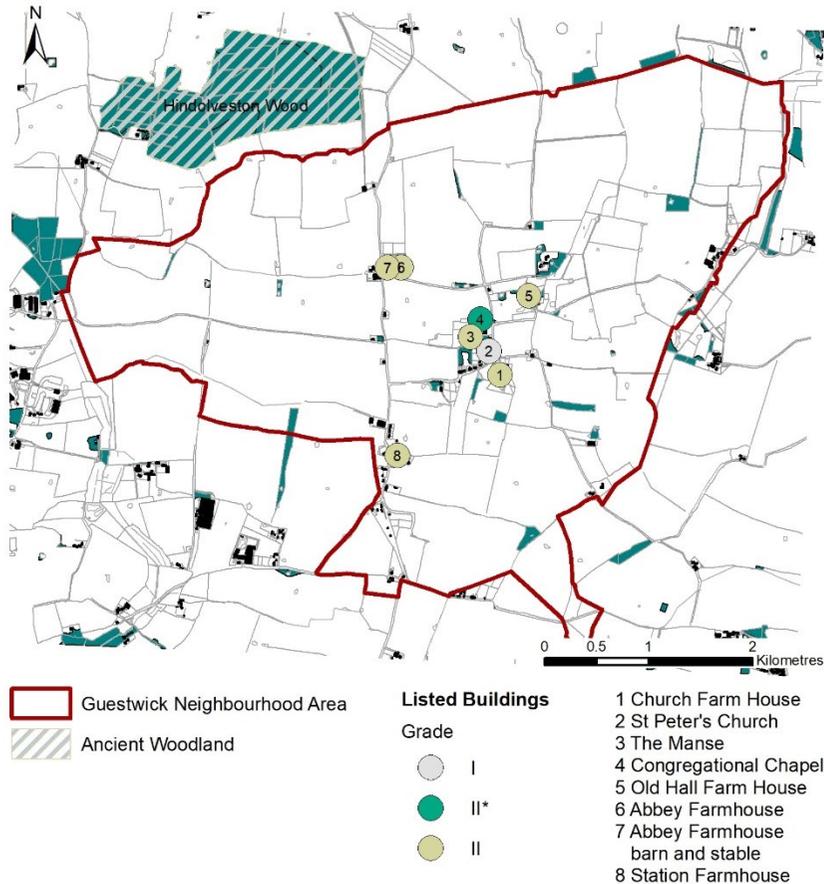
Guestwick is located in north Norfolk within the Broadland District. It is located approximately 19 km (12 miles) south-east of Fakenham town centre and approximately 29 km (18 miles) north-west of Norwich. The total area of the Guestwick Neighbourhood Area is approximately 745 ha.

The Neighbourhood Plan boundary is partially defined by the regular alignment of dykes and ditches to the north and east. The southern and western boundary follows the regular field boundaries. The Neighbourhood Area includes two small hamlets; Guestwick, which lies in the centre of the area and Guestwick Green on its southern edge. Both settlements are surrounded by fields.

A network of minor roads and rural lanes links the area with the A148 and A1067. The A148, which links King's Lynn and Cromer, forms the Fakenham Northern by-pass. The A1067 links with the A148 and runs south-east to Norwich.

The nearest railway station is located in Cromer and provides local connections to Sheringham and Norwich. The railway station in Norwich provides long distance connections between Liverpool, London and Stansted Airport, and coastal towns such as Lowestoft, Sheringham and Great Yarmouth.

2.2 Landscape designations



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Figure 2 Landscape and Heritage Designations

Statutory and non-statutory landscape, environment and heritage designations were reviewed to understand the context of Guestwick Neighbourhood Area. There aren't any landscape and environmental designations; however, there are several heritage assets. There are eight listed buildings scattered across the area which includes St. Peter's Church (Grade I), Congregation Chapel (Grade II*) and six buildings classified as Grade II. To the immediate north of the neighbourhood area is the extensive Hindolveston Wood, which is designated as Ancient Woodland.

The Norfolk Coast Area of Outstanding Natural Beauty (AONB) is located approximately 13km (8 miles) north of Guestwick. It is an area of national and international importance for landscape, of remarkable beauty, diversity and scientific importance.



3. Landscape character assessment

3.1 Introduction

This section outlines the broad physical, historical and perceptual characteristics of the Guestwick Neighbourhood Area. Character assessment is used to describe and articulate what is special and distinctive about a place. It is used to identify recognisable patterns of elements or characteristics that make one place different from another. This report is focussed on the character of the village and its rural landscape context. The features introduced in this section are later used to inform the design guidelines.

3.2 Existing landscape character assessment and design guidance

This report is also informed by a number of other studies relevant to the local area, as follows:

- *Design Guide, Broadland District Council, 1997.*
- *North Norfolk Design Guide Supplementary Planning Document, 2008.*
- *The draft of North Norfolk Design Guide, 2019.*

The new draft North Norfolk Design Guide is an online tool which was published for consultation alongside the draft Local Plan in May and June 2019. This document will replace the current Design Guide (2008) and will be adopted as a Supplementary Planning Document (SPD), which will be a material consideration in the planning process.

<https://designguide.north-norfolk.gov.uk/>

Existing character assessments have been reviewed to provide some context to this more detailed assessment. The study area falls within National Character Area (NCA) 84: Mid Norfolk, as defined by Natural England (Natural England, 2014). This NCA is broad but provides context to the character of the study area. The key characteristics of the area which are of particular relevance to this assessment are as follows:

- *Broadly flat, glacial till plateau dissected by river valleys which create a more intricate landscape to the west of Norwich;*
- *Chalk bedrock overlain by gravels, sands and glacial till left behind by the retreating ice of Anglian glaciations, and the resulting complexity of soils, determine natural vegetation patterns.*
- *Tranquil agricultural landscape with extensive areas of arable land, dominated by cereals with break-cropping of sugar beet and oilseed rape, and some pasture along valley floors.*
- *Ancient countryside, much of it enclosed in the 14th century, with a sporadically rationalised patchwork field system, sinuous lanes and mixed hedges with hedgerow oaks.*
- *Largely fragmented, isolated mixed deciduous and pasture woodlands.*
- *Coherent vernacular architecture – marked by distinctive red brick and flint buildings with pantiled roofs, much dating from the 17th and 18th centuries, with some earlier timber frame – is an inherent component of the area's character.*

At the local level, the study area is defined by the Landscape Character Type (LCT) C: Plateau Farmland North defined in the Broadland District Council Landscape Character Assessment SPD (Chris Blandford Associates, 2013). The key characteristics of the Plateau Farmland LCT include:

- *Distinct flat and elevated landform in comparison to surrounding landscapes;*
- *Underlying geology of Till deposits;*
- *Large fields of predominantly arable monoculture farmland;*
- *Sense of openness and exposure due to elevation and scarcity of enclosing elements such as woodland;*
- *Small ponds are often a feature of fields;*
- *Presence of boundary oaks within hedgerows;*
- *Long and expansive views of adjacent landscapes;*
- *Predominantly rural character and associated strong sense of tranquility throughout;*
- *Sparsely settled landscape;*
- *Presence of isolated historic features within the landscape; and*

- *Small ponds and marl pits are often features of fields lying on clayey and chalky Till.*

The neighbourhood area is located within the C1: Foulsham and Reepham Landscape Character Area (LCA) defined in the Broadland District Council Landscape Character Assessment SPD (Chris Blandford Associates, 2013). The key characteristics of the Foulsham and Reepham LCA relevant to this assessment include:

- *The Till plateau forms the highest area of land in the District, rising to a height of approximately 60M AOD around Guestwick;*
- *Dispersed small-scale settlement pattern with individual isolated farmsteads scattered throughout the landscape;*
- *Simple landscape structure with little woodland cover and small copses located in field corners and recognisable hedgerow structure;*
- *Strong historic structure indicated by irregular shaped fields and a complex network of lanes and ancient tracks;*
- *Open character with wide expansive views across the farmland towards landmark churches;*
- *Larger farmsteads, halls and church towers create essential and striking vertical features in wide expansive views;*
- *Strong sense of tranquility and isolation throughout the area;*
- *Strong rural character and sense of continuity; and*
- *Numerous fields have small ponds in the corner, characteristic of heavier soils. These ponds may suggest past use of the fields for grazing.*



4. Design guidelines

4.1 Introduction

This section is divided into two parts. The first is a set of key elements to consider when assessing a design proposal. These are presented as general questions which should be addressed by developers and their design teams who should provide clarification and explanation as necessary. The second part is a series of design codes or guidance setting out the expectations of the Guestwick Neighbourhood Forum.

It is important that full account is taken of the local context and that the new development responds to and enhances “sense of place” and meets the aspirations of people living in that area. The aim of this section is to produce design guidelines that help to assess design quality and appropriateness in residential development proposals. Images have been used to reflect good examples of local architecture.

The guidelines developed in this document focus on residential development, considering the character of the immediate neighbouring buildings and the landscape of the surrounding area. The local pattern of streets and spaces, building traditions, materials and the natural environment should all help to determine the character and identity of new development whilst recognising that new building technologies can deliver acceptable built forms and may sometimes be more relevant.

4.2 General design considerations

This section sets out a series of general design principles followed by questions against which the development proposals should be evaluated.

As an initial appraisal, there should be evidence that development proposals have considered and applied the following general design principles:

- Harmonise with and enhance the existing settlement in terms of physical form, movement pattern and land use;
- Relate well to local topography and landscape features, including prominent long-distance views;

- Reinforce or enhance the established character of streets and other spaces;
- Integrate with existing paths, streets, circulation networks and patterns of activity;
- Provide adequate open space for the development in terms of both quantity and quality;
- Reflect, respect and reinforce local architecture and historic distinctiveness;
- Retain and incorporate important existing landscape and built form features into the development;
- Respect surrounding buildings in terms of scale, height, form and massing;
- Adopt contextually appropriate materials and details;
- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features;
- Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other; to provide a safe, attractive and cohesive environment;
- Make enough provision for sustainable waste management (including facilities for kerbside collection, waste separation and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours; and
- Sensitively integrate energy efficient technologies within the scheme at the start of the design process.

4.2.1 Key points to consider when assessing planning applications

The aim is to assess all proposals by objectively answering the questions below. Not all the questions will apply to every development. The relevant ones, however, should provide an assessment overview as to whether the design proposal has considered the context and provided an adequate design proposal. Following these fundamental principles, there are number of questions related to the design guidelines which should be used to evaluate the quality and appropriateness of development proposals.

Landscape structure or settlement pattern

- What are the essential characteristics of the existing settlement and street pattern; are these reflected in the proposal?
- Does the proposal respect local landscape features including topography and hydrology?
- What are the important landscape or historic features within and surrounding the site? Have these features including existing trees been considered in the proposal?
- How does the proposal relate to its setting? Are there any important links both physical and visual that currently exist on and adjacent to the site?
- Does the proposal maintain or enhance the existing gaps between settlements?
- How will the new design or extension integrate with the existing street arrangement?
- Does it favour accessibility and connectivity over cul-de-sac models? If not, why?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the new points of access and street layout take regard for all users of the development; in particular pedestrians, cyclists and those with disabilities?
- Do the points of access conform to the statutory technical requirements?

Green spaces, public realm and street scape

- Does the new proposal respect or enhance the existing area or adversely change its character?
- Does the proposal maintain or enhance the existing landscape features including trees on or adjacent to the site?
- How does the proposal affect the character of a rural or edge of settlement location?
- In rural and edge of settlement locations does the development impact the tranquillity of the area and has this been fully considered?
- Has the impact on the landscape quality of the area been considered?

- Does the proposal positively contribute to the quality of the public realm and streetscape?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?
- Have opportunities for enhancing existing amenity spaces been explored?
- Will any communal amenity space be created? If so, how this will be used by the new owners and how will it be managed?
- Have all aspects of security been fully considered and integrated into the design of the buildings and open spaces?

Pattern and layout of buildings

- What is the pattern and layout of existing buildings and have these been respected in the proposal?
- Does the proposal maintain the character of existing building layouts and their relationship with the main roads through the settlement?
- If the design is within or adjacent to a heritage asset, have the elements which contribute to their significance been considered in the proposal? (Heritage assets include listed buildings, scheduled ancient monuments, registered landscapes and registered battlefields.)
- Does the proposal affect or change the setting and significance of a heritage asset?

Views and landmarks

- What are the existing key views and visual landmarks in the area and have these been retained and enhanced in the proposal?
- Where long distance views exist, how are these respected in the design?
- Are new views and visual connections with the existing settlement and surrounding area incorporated into the proposal?
- Are new landmarks to be formed within the proposals?

Building line and boundary treatment

- Does the proposal respect the existing building line and harmonise with the adjacent properties?
- Has the appropriateness of the boundary treatments been considered in the context of the site?

Building heights and roofline

- Does the proposed development compromise the amenity of adjoining properties?
- Does the proposal overlook any adjacent properties or gardens?
- Has careful attention been paid to height, form, massing and scale of new buildings? Is it appropriate to reflect the adjacent scale or could a taller development be considered?
- If a proposal is an extension, is it subsidiary to the existing property so it does not compromise its character?

Architectural details and materials

- Has the local architectural character and precedent been demonstrated in the proposals?
- If the proposal is a contemporary design, are the details and materials a sufficiently high enough quality and does it relate specifically to the architectural characteristics and scale of the site?
- What are the distinctive materials in the area, if any? Do the proposed materials harmonise with the local vernacular?
- Does the proposal use high quality materials?
- Have the details of the windows, doors, eaves and roof details been addressed in the context of the overall design?

Parking and utilities

- Has adequate provision been made for car and cycle parking both private and public?

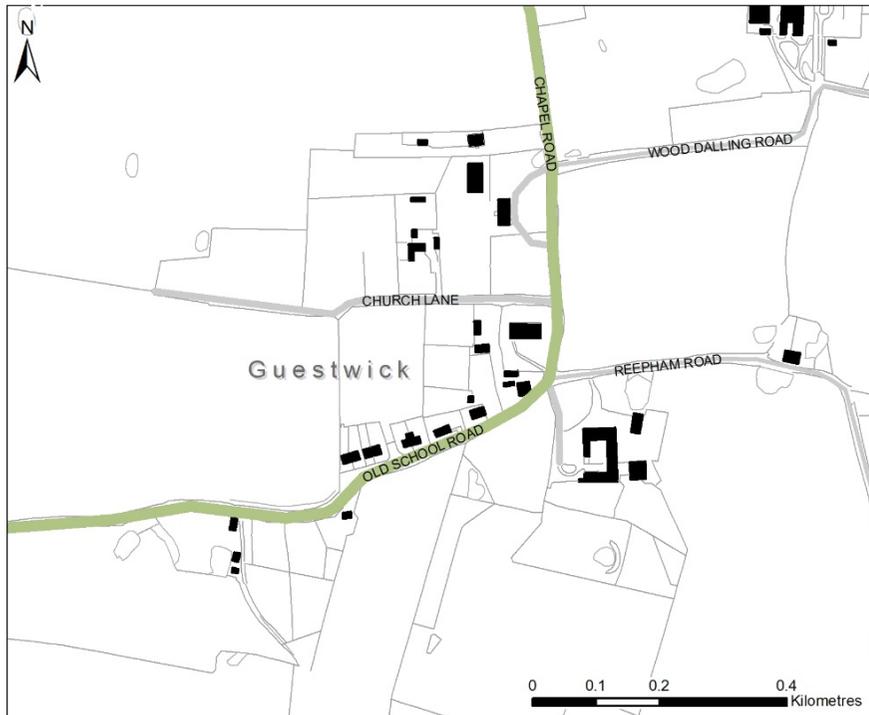
- Do the proposed private car and cycle parking locations complement the existing provision or introduce new approaches? If new, do these new approaches change the character of the street?
- Has adequate provision been made for bin storage including facilities for waste separation and recycling?
- Is the location of the bin storage facilities appropriate in relation to the travel distance from the collection vehicle?
- Has the impact of the design of bin storage facilities been considered, including quality of materials and location on the whole development? Could additional measures be incorporated to help integrate facilities into the development?
- Has the location of utilities including appropriate maintenance access been integrated into the proposal?
- Is the use of energy saving/efficient technologies encouraged and maximised? Are these technologies integrated into the proposal and not 'bolt on'?
- Has the lighting scheme been designed to avoid light pollution?

4.3 Design codes

The codes or guidelines in this section should be applied as a starting point to all new development, regardless of where it is in the Guestwick Neighbourhood Area. These guidelines advocate character-led design which responds to and enhances the existing village townscape. Reference to context does not mean to copy or use pastiche solutions. It means responding to what is around as inspiration and influence and it could be a contemporary solution that is in harmony with the surroundings.

The design codes focus on the unique characteristics of the neighbourhood area which are to be considered in any future development. They are to be applied in combination with the general questions in section 4.2 above.

Code 1: Settlement pattern

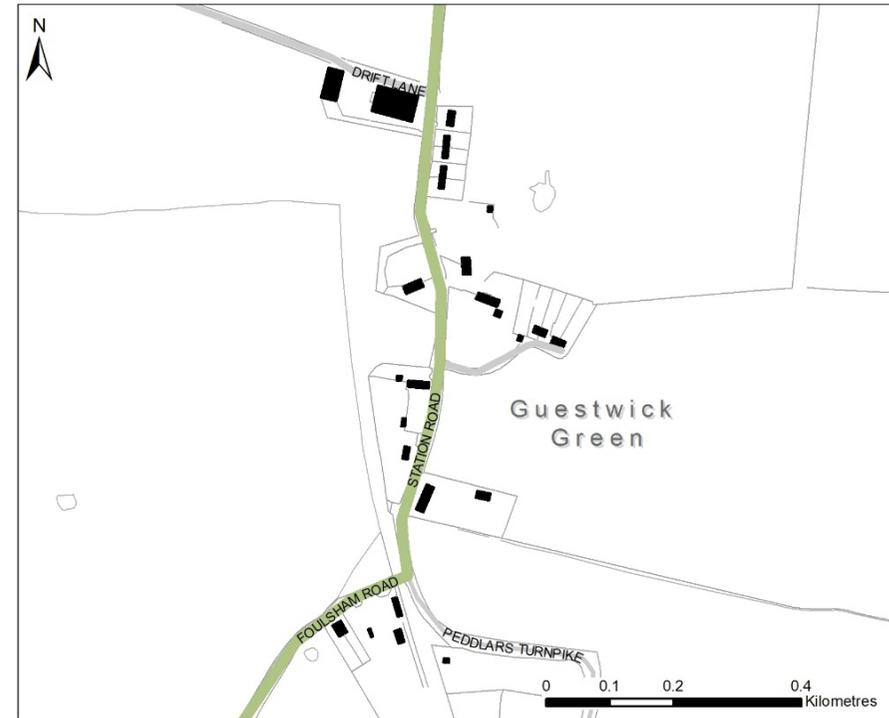


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Mixed development pattern in Guestwick

The neighbourhood area is dominated primarily by arable farmland. Large to medium fields with hedgerows and occasional copses create a simple landscape pattern. The historic, sparse settlement pattern, typical in this part of Norfolk, has been retained. There are two small settlements in the area and several dispersed farmsteads.

Guestwick is located in the centre of the neighbourhood area. Recently developed semi-detached houses to the west and historic detached houses to the east of Old School Road, create a linear layout. The development along the Church Lane and Bray's Lane is irregular in layout. Buildings are set deep within the plot and are primarily screened by trees and hedgerows along the boundary. Saint Peter's Church is located on the corner of Wood Dalling Road and could be recognised as a centre of the village.



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Linear development pattern in along Station Road and Foulsham Road

Closer to the southern boundary of the neighbourhood area linear development continues along Station Road and Foulsham Road. The development here includes houses and large farm buildings.



Abbey Farmhouse is an example of farmstead located north of Chapel Road (Photo provided by Guestwick Neighbourhood Forum)

Farmsteads are scattered across the neighbourhood area away from the main settlements. These usually comprise dwellings accompanied by farm buildings.

The network of Public Rights of Way enables easy access to the countryside and gives an alternative route away from the road between Old School Road and southern part of Station Road. The long distance National Cycle Route 1, which connects Dover and the Shetland Islands, via the east coast of England and Scotland, runs through southern and central part of the neighbourhood area.

On plot-parking is the most common across the area. There is a limited provision of on street car parking associated with the Village Hall and a gravel verge in front of houses on Old School Road.



The well-developed network of Public Rights of Way enables easy access to the countryside

Design guidance:

- New development should respond to the historic, sparse settlement pattern consisting of small, linear development and scattered farmsteads.
- The existing network of Public Rights of Way should be retained and enhanced in new development proposals.
- New development proposals should include on-plot parking provision.

Code 2: Green spaces, public realm and streetscape



Millennium Green

Public green space within the Guestwick Neighbourhood Area includes Millennium Green and St. Peter's Church cemetery. Millennium Green is located between houses along Old School Road and Church Lane. It is an important community green space, which includes benches and litter bins. At the back gate of Millennium Green runs the footpath which leads to an avenue of mature trees along Church Lane.

Mature hedgerows, hedgerow trees and individual trees, primarily mature Oaks, are common across the neighbourhood area. This vegetation forms a recognisable landscape feature and important wildlife corridors. Hedgerows together with narrow grass verges border narrow asphalt roads. There is a lack of pavements across the neighbourhood area. The majority of front gardens are set behind hedges of approximately 2-3m in height, screening them from the streets of Guestwick



St. Peter's Church cemetery

Design Guidance:

- New development should provide sufficient green space appropriate to the location and size of the dwelling, including front and rear gardens and grass verges.
- Millennium Green should be retained and enhanced as a public green space.
- Trees should be retained in new development proposals to help reinforce the existing pattern of vegetation.
- Materials used in the public realm should be of high quality and respond to and enhance the rural character of the settlements.

Code 3: Pattern and layout of buildings

There are two distinctive development types within the area.



The first development type comprises up to two storey houses set within a medium size plot. These semi-detached and detached houses are primarily set behind small front gardens, separated from the road by approximately 2-3m tall hedgerows and narrow grass verges. These houses contribute to the rural character of the village. This type of development is usually concentrated along the main streets and therefore reflect the linear settlement pattern of Guestwick.

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The second development type comprises farmsteads; large houses up to three storeys in height that originated as farms and manor houses, which contribute to historic character of the neighbourhood area and relates to long agricultural traditions of the region. This type of development creates a complex of buildings set back on large plots. The plots are separated from the roads by large hedgerows and trees; therefore, usually only glimpses of the buildings are visible from the road. These clusters of buildings are complemented by large gardens. The additional space is also used for horse paddocks.

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Houses along Station Road - example of first development type



Abbey Farmhouse - example of second development type (photo by Guestwick Neighbourhood Forum)

The low density of development in Guestwick contributes to its small scale character. Building plots are concentrated along the road.. There are also individual developments scattered across the countryside.

Design Guidance:

- Future development should reflect the low density of existing development to enhance the rural character.
- New development proposals should respond to development types reflecting local and regional characteristics, including scale and form.
- New development should be responsive to the plot widths, proportions, building lines and positions within the plots of existing development.
- Buildings should not front directly onto streets but should be set a minimum of 3m back from the street behind a front garden.

Code 4: Views and landmarks



Medium distance view of St. Peter's Church from Wood Dalling Road

The tower of St. Peter's Church is a prominent local landmark. It is present in middle distance views on the approach to Guestwick from Station Road, Old School Road, Reepham Road and Wood Dalling Road. There is lack of gateways or sense of arrival to Guestwick due to dispersed character of the settlement. There are open, long distance views across the farmland including large farm buildings and occasional houses.

There are long distance views of Wood Dalling Hall from Reepham Road. Wood Dalling Hall is a 16th century Grade II* Listed Building, the majority of which is screened by the surrounding woodland. However, the historic avenue of trees leading up to the hall and elaborate chimneys remain visible above the top of the woodland due to the elevated position of the road. There are also long-distance views of St. Andrew's Church in Wood Dalling from Station Road and Peddlars Turnpike



Long distance views of Wood Dalling Hall from Reepham Road, Guestwick

Design Guidance:

- New development should not disrupt the appreciation of St. Peter's Church tower as a local landmark.
- Proposals for new development should demonstrate consideration of visual connections with characteristic landmarks.
- New development proposals should not be visually intrusive. This should be achieved through appropriate scale and design, including screening where appropriate.



Long distance view of St. Andrew's Church in Wood Dalling from Station Road

Code 5: Boundary treatments



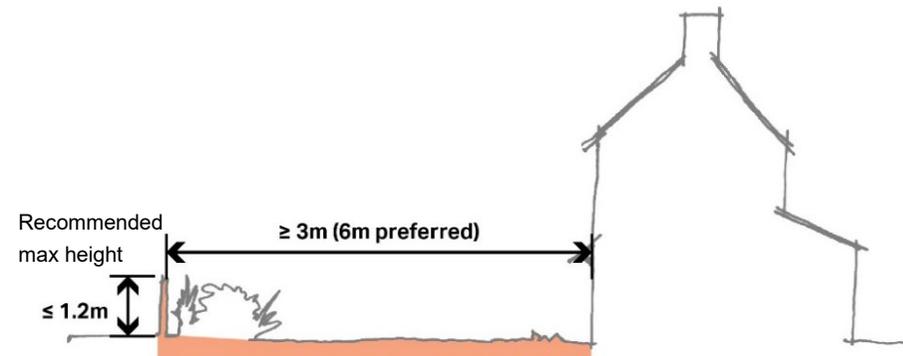
Tall hedges on plot boundaries are common

The majority of the houses are either set behind front gardens or located in the centre of a large plot. A typical boundary feature comprises the hedgerow and wooden gate supported by brick or wooden posts. There are also examples of medium height and low red brick walls.

The height of hedgerow boundaries ranges approximately between 2 and 3m. A large proportion of the façade together with the front gardens is screened, therefore does not contribute to the streetscape. Lower boundary features, as shown on the illustration on the right, would allow the front garden and building to be visible from the streets. Taller 1.8m high hedgerows and walls are more appropriate for creating secluded rear gardens.



Lower hedges allow more open views of properties



Recommended height of boundary features up to 1.2m and garden lengths: 3m minimum, 6m preferred.



Opportunity to reinforce a consistent boundary line along Station Road



Example of low brick wall, Station Road

Design Guidance:

- New development should use boundary features which allow for visual connections with the streets, are complementary to the streetscape and enhance the rural character of the village.
- The materials proposed for new boundary walls and fences should be of high quality, responding to the village character and have strong attention to architectural detailing.
- The maximum height of hedge, wall or other boundary features should not generally exceed 1.2m (see p. 25 illustration).
- New development should follow a boundary line consistent with existing development.

Code 6: Building heights and roofline



Abbey Farmhouse, example of steep pitched historic roof

Buildings do not generally exceed two storeys in height and rooflines vary across the area. Abbey Farmhouse is the tallest residential building in the area which counts three storeys. The building is decorated by parapet gables and chimneystacks on both ends, which are characteristic roof features of the area. The Old Hall Farmhouse and Congregation Chapel have distinctive stepped gables. There are also less frequent examples of hipped roofs, which mainly appear on more recent development and farm buildings; these are not characteristic for the area.



Old Manse, example of steep pitched historic roof with dormer windows, parapetted gables and gable chimney stack. (Photo provided by Guestwick Neighbourhood Forum)

Design Guidance:

- Height of new development should respond to adjacent buildings and should be no higher than two and the half storeys.
- New development should consider steep pitched roofs to correspond with the historic character of the area.
- Typical roof features such as chimney stacks, dormer windows and gables should be considered in new development proposals to reflect and enhance the historic character of the area.

Code 7: Building modifications, extension and plot infill

Ivy Farm Barn 2009



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Extensions to dwellings can have a significant impact on the character and appearance of the building and the neighbouring streets. A well-designed extension can enhance the appearance of the street.

The characteristic large plots within Guestwick Neighbourhood Area provide an opportunity for the new development within the plot. There are examples of infill development in the area, which fits well within the rural context. These usually comprise of materials representative of the local vernacular such as red brick, terracotta roof tiles, wooden cladding which enhance the rural character of the neighbourhood area.

Use of renewable sources of energy is important to improve sustainability. Solar panels are an energy efficient solution used across the Guestwick Neighbourhood Area, which can be visually sympathetic to the character.

Ivy Farm Barn 2020



Redeveloped Ivy Farm Barn on Old School Road in Guestwick, 2020.

The Ivy Farm Barn is an example of positive conversion of a derelict agricultural building into a modern dwelling, positively contributing to the rural character of the area.



Church Farm on Reepham Road comprises historic residential buildings and recent development

Design Guides:

- Extensions should be appropriate to the scale, massing and design of the host building and complement the streetscape.
- Alterations and extensions of historic buildings should respect the host building. Replacement of historic and traditional features, such as timber windows and doors with uPVC and other non-traditional materials should be avoided.
- Extensions are more likely to be successful if they do not exceed the height of the original or adjacent buildings. Two storey extensions should be constructed with the same angle of pitch as the existing roof.
- The design, materials and architectural detailing of extensions and infill development should be high quality and respond to the host building and local character.
- The impact of infill development on the neighbouring properties should be considered.



Positive use of locally characteristic building materials at Seaman's Farm, Reepham Road.

- Infill development should correspond with the character of the existing building on the plot, both in terms of the pattern of development and design of the house. Issues of sufficient space, local vernacular, privacy, loss of trees needs to be considered.
- Renewable sources of energy such as solar panels should be implemented to new development proposals where appropriate. Provision of electric car charging points should be considered.

The Permitted Development Rights for Householders (MHCLG, 2019) contains more detailed information on building modifications and extensions, setting out what is usually permitted without planning permission. This can be found online <https://www.gov.uk/government/publications/permitted-development-rights-for-householders-technical-guidance>.

Code 8: Locally characteristic architectural details

8A - Architectural Detail: Doors



Timber door with simple doorcase



Door with a simple doorcase



Timber door



Timber doors with birck porch

8B - Architectural Detail: Windows



Dormer window



Sash windows with glazing bars.



Casement window with glazing bars



Sash window with glazing bars

Design Guidance:

- Architectural detailing in development proposals should enhance the rural character and contribute to the sense of place.
- Future development should consider casement and sash windows with glazing bars to reflect the character of existing buildings.
- Future development should consider emphasising doorways by simple porches or doorcases.

Code 9: Vehicle Parking

- When needed, residential car parking can be on-plot side, front, garage, or courtyard parking.
- For family homes, cars should be placed at the side (preferably) or front of the property. For small developments, a rear court is acceptable.
- Car parking design should be combined with landscaping to minimise the visual impact of parked vehicles.
- Parking areas and driveways should be designed with permeable paving.
- When placing parking at the front, the area should be designed to minimise visual impact and to blend with the existing streetscape and materials. The aim should be to keep a sense of enclosure and to avoid continuous areas of car parking in front of dwellings. This can be achieved by means of walls, hedging, planting, and the use of quality paving materials.
- Parking bays and spaces should be designed for easy access by wheelchairs, loading carts, and buggies.
- The following pages outline the residential car parking solutions that can be employed in Guestwick.

On-Plot Side or Front Parking

- On-plot parking can be acceptable when it is combined with high quality and well-designed soft landscaping. Front garden depth from pavement back should be sufficient for a car.
- Boundary treatment is the key element to help avoid a car-dominated character. This can be achieved by using elements such as hedges, trees, flower beds, low walls, and high-quality paving materials between the private and public space.
- Hard standing and driveways should be constructed from permeable materials to minimise surface water run-off.

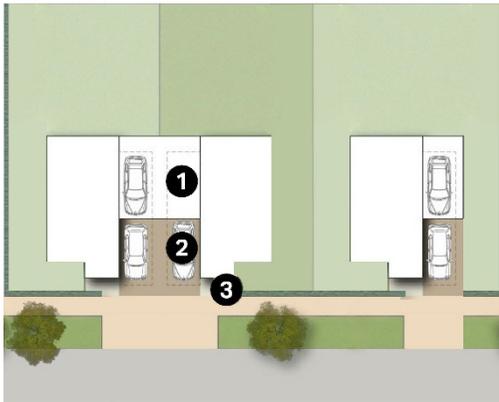


Indicative codes/layouts of on-plot front (left) and side (right) parking.

1. Front parking with part of the surface reserved for soft landscaping. Permeable pavement to be used whenever possible.
2. Side parking set back from the main building line. Permeable pavement to be used whenever possible.
3. Boundary hedges to screen vehicles and parking spaces.

On-Plot Garages

- Where provided, garages must be designed either as free-standing structures or as an extension to the main building. In both situations, it must complement and harmonise with the architectural style of the main building.
- Often, garages can be used as a design element to create a link between buildings, ensuring continuity of the building line. However, garages should not be prominent elements.
- It should be noted that many garages are not used for storing vehicles, and so may not be the best use of space.
- Considerations must be given to the integration of bicycle parking and/or waste storage into garages.



Indicative codes/layout of on-plot parking with garages

1. Side parking set back from the main building line. Permeable pavement to be used whenever possible.
2. Garage structure set back from main building line. Height to be no higher than the main roofline.
3. Boundary hedges to screen vehicles and parking spaces.

Code 10: Materials

Red brick is a dominant building material across Guestwick. There are less frequent examples of colourwashed brick, flint and render. Black weatherboarding appears in recent development, which is common in the broader area. Wide use of typical Norfolk materials including red brick, ceramic pantiles, render and flint should help build the sense of place and enhance the rural character of the village. Typical roof materials comprise of clay pantiles.

Palette of Materials - Roof



Clay pantile



Clay pantile



Slate roof



Clay tile

Palette of Materials – Walls



Red brick



Colourwashed brick and red brick



Render



Flint



Timber weatherboarding



Black weatherboarding

Design Guidance:

- Materials used in new developments should demonstrate an understanding of local and regional character and build upon the sense of place.
- High quality roof materials consistent with the rural character of the village should be used in new development. Concrete tiles and slate should be avoided.
- New development proposals are likely to be more successful if they comprise high quality, traditional materials such as red and colourwashed brick, flint, render and black weatherboarding.
- Materials for alterations and extensions should be high-quality and retain or, if possible, enhance the character and appearance of the host building and the surrounding area.



Photo provided by Guestwick Neighbourhood Forum

5. Deliverability

5.1 Delivery agents

The design guidelines will be a valuable tool for securing context-driven, high quality development in Guestwick Neighbourhood Area. They will be used in different ways by different parties in the planning and development process, as summarised in the table below:

Actor	How they will use the design guidelines
Applicants, developers and landowners	As a guide to the community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the Guidelines as planning consent is sought. Where planning applications require a Design and Access Statement, the Statement should explain how the Design Guidelines have been followed.
Local Planning Authority	As a reference point, embedded in policy, against which to assess planning applications. The Design Guidelines should be discussed with applicants during any pre-application discussions.
Guestwick Parish Meeting	As a guide when commenting on planning applications, ensuring that the Design Guidelines are followed.
Community organisations	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.

5.2 Deliverability

The National Planning Policy Framework (paragraph 35) emphasises that a proportionate evidence base should inform plans. Based on a *‘positive vision for the future of each area; a framework for addressing housing needs and other economic, social and environmental priorities; and a platform for local people to shape their surroundings’* (see paragraph 15). Policies should be *‘underpinned by relevant and up-to-date evidence. This should be adequate and proportionate, focused tightly on supporting and justifying the policies concerned, and take into account relevant market signals’* (paragraph 31). Crucially planning policies *‘should not undermine the deliverability of the plan’* (paragraph 34).

Neighbourhood Plans need to be in general conformity with the strategic policies in the corresponding Local Plan. Where new policy requirements are introduced (that carry costs to development) over and above Local Plan and national standards it is necessary to assess whether development will remain deliverable. The principles and guidance set out in this document and within the Neighbourhood Plan’s policies are aligned with national policy and non-statutory best practice on design.

The values and costs of construction between new developments and within new developments will vary based on location, situation, product type, design (architecture, placemaking etc.) and finish; and the state of the market at the point of marketing the properties. The guidelines herein constitute place making principles and guidance to help interpret and apply the statutory policies within the Neighbourhood Plan. Good design is not an additional cost to development and good placemaking can result in uplifts in value.



Photo provided by Guestwick Neighbourhood Forum

Appendix A References

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